

STATE OF UTAH  
DIVISION OF FACILITIES CONSTRUCTION AND MANAGEMENT

# UTAH STATE UNIVERSITY

## CENTER FOR PERSONS WITH DISABILITIES

## ROOFING IMPROVEMENTS

PROJECT NUMBER: 07017770

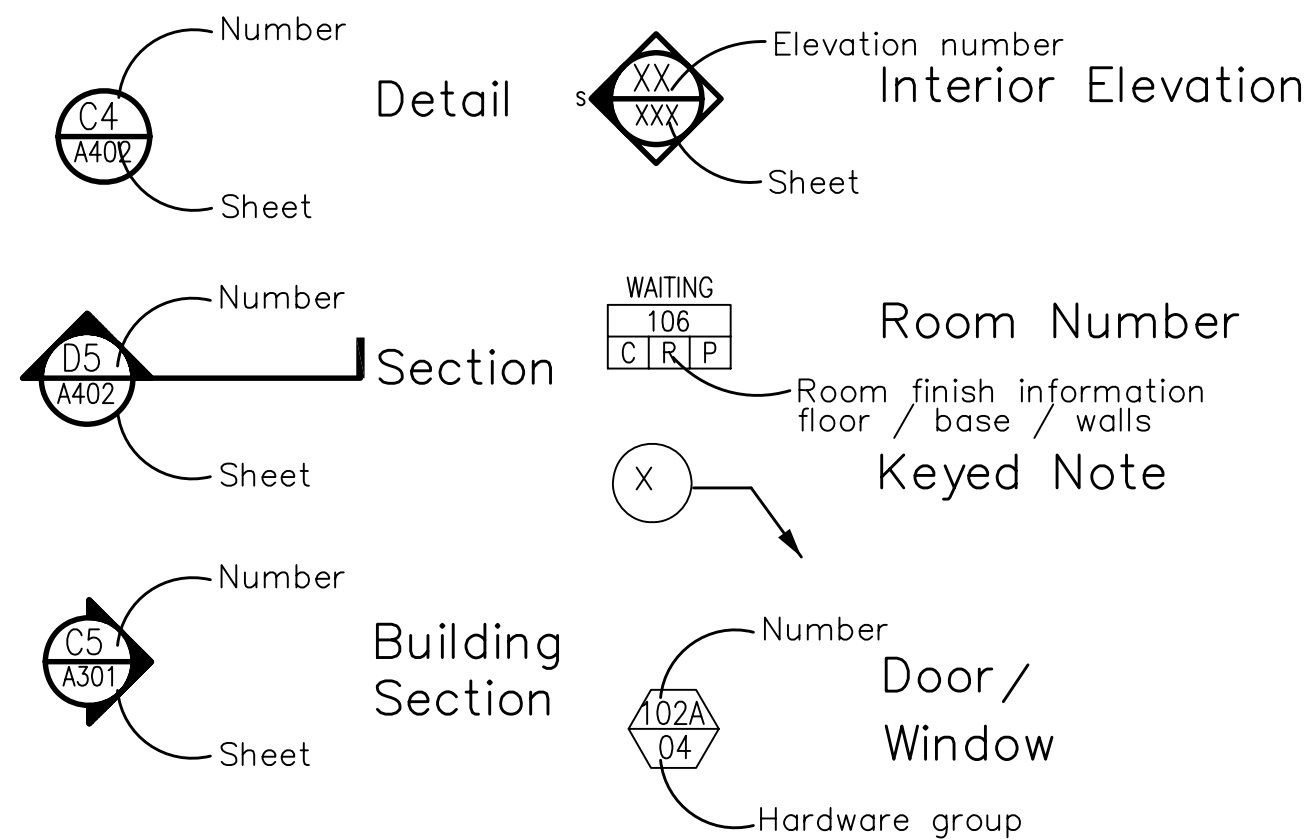
### GENERAL NOTES

- The General Contractor, all suppliers and subcontractors will follow the direction of the Owner to maintain undisturbed all areas of the site that are outside the project limit line.
- The purpose of the contract documents is to describe the design intent of the proposed improvements. In order to fully understand the scope of the work involved the general and sub contractors are responsible for visiting the site and studying the contract documents prior to bidding or commencing work. The General and sub contractors will be responsible for providing all work and materials related to the construction described, whether fully specified or not, such as fasteners, connectors, caulking, hardware, finishes and other such work that would constitute a complete application.
- The contractor and subcontractors shall verify all dimensions and conditions at the site and work performed by other trades. Do not scale drawings. If dimensions are in question the Contractor or subcontractor shall be responsible for obtaining clarification from the architect prior to continuing construction of the area in question.
- Dimensions are to be to the centerline of steel, the nominal face of concrete or masonry and the finish face of studs, unless otherwise noted.
- All details, sections, and notes shown on the drawings are intended to be typical and shall apply to similar situations elsewhere unless noted or shown otherwise. Notes and details on drawings shall take precedence over these general notes. If general notes and specifications appear to be in conflict contact architect for clarification before proceeding with construction.
- During and after construction the contractor and/or owner shall keep the loads on the structure within the limits of the design loads.
- "Typ." or "typical", as used in these documents, mean that the condition is the same or representative for all similar conditions unless otherwise noted. Details are usually keyed and noted "typical" only when they first occur and are representative for similar conditions throughout, unless noted otherwise.
- Furnish every thing necessary and incidental for proper and satisfactory completion of all work specified, indicated or shown in the contract documents.
- All exposed surfaces that have been modified, installed or affected by the construction process shall be cleaned, vacuumed or dusted in order to leave the premises ready for occupancy with no further cleaning necessary by the owner.
- Patch and repair all finished surfaces damaged by construction to the satisfaction of the owner.

### Abbreviations

A/C	Air conditioning	FLR.	Floor	R.C.M.U.	Reinforced concrete masonry unit
ACOUST.	Acoustical	F.R.	Fire rated	R.D.	Roof drain
ADJ.	Adjustable	F.S.R.	Flexible sheet roofing	REG.	Regular
ALLOW.	Allowance	FTG.	Footing	R.S.	Rough-sawn
ALUM.	Aluminum	G	Gas	RAD.	Radius
ANOD.	Anodized	G.I.	Galvanized iron	REINF.	Reinforcing
APROP.	Appropriate	GA.	Gauge	REQ'D.	Required
APPROX.	Approximate	GAL.	Galvanized	REV.	Revised, Revision, Reversed
		GRD.	Grade	RM.	Room
B.U.R.	Built up roof	GYP. BD.	Gypsum board	R.O.	Rough opening
BLDG.	Building	G.L.B.	Glued laminated beam	S	Sewer line
BLK.	Block	H.B.	Hose bib	S.C.	Solid core
BRK.	Brick	HD.	Head	SCHED.	Schedule
		H.M.	Hollow metal	SD.	Schedule
C.I.	Cast iron	HORIZ.	Horizontal	SHT.	Sheet
C.J.	Control joint	I.D.	Inside diameter	SIM.	Similar
C.M.U.	Concrete masonry unit	INCL.	Included	SPEC.	Specification
CLG.	Ceiling	INT.	Interior	STD.	Standard
COL.	Column	IRRIG.	Irrigation	STL.	Steel
COORD.	Coordinate	INSUL.	Insulation	STRUCT.	Structural
CONC.	Concrete	M.R.	Moisture resistant	SYST.	System
CONST.	Construction	MFR	Manufacturer	T & B	Top and bottom
CONTR.	Contractor	MAX.	Maximum	T & G	Tongue and groove
CONT.	Continuous	MECH.	Mechanical	T.O.	Top of
		MIN.	Minute	T.O.F.	Top of footing
D.F.	Drinking fountain	M.D.F.	Medium Density Fiberboard	T.O.W.	Top of wall
DIA.	Diameter	N.I.C.	Not in contract	TYP.	Typical
DIM.	Dimension	N.T.S.	Not to scale	T.S.	Steel tube column
DN.	Down	NO.	Not to scale		
DWG.	Drawing	NO.	Number	U.N.O.	Unless noted otherwise
DWG.	Drawings	#	Number	VERT.	Vertical
DTL.	Detail	O.C.	On center	W	Water
EA.	Each	O.D.	Outside diameter	WD.	Wood
E.F.	Exhaust fan	OPD.	Overflow drain	W/	With
E.I.F.S.	Exterior insulation finish system	OPN'G	Opening	W.P.	Waterproof
		OPHD	Opposite hand	W.R.	Water resistant
E.J.	Expansion joint	P.L.	Plastic Laminate	W.W.F.	Welded wire fabric
ELECT.	Electric, Electrical	PLYWD.	Plywood	W.W.M.	Welded wire mesh
ELEV.	Elevation	PNT.	Paint		
EQ.	Equal	PNTD.	Painted		
E.W.	Each way	PTD.	Painted		
EXIST.	Existing	PR.	Pair		
EXT.	Exterior	PROJ.	Project		
F.D.	Floor drain				
F.E.	Fire extinguisher				
FDN.	Foundation				
FIN.	Finish				

### Symbols



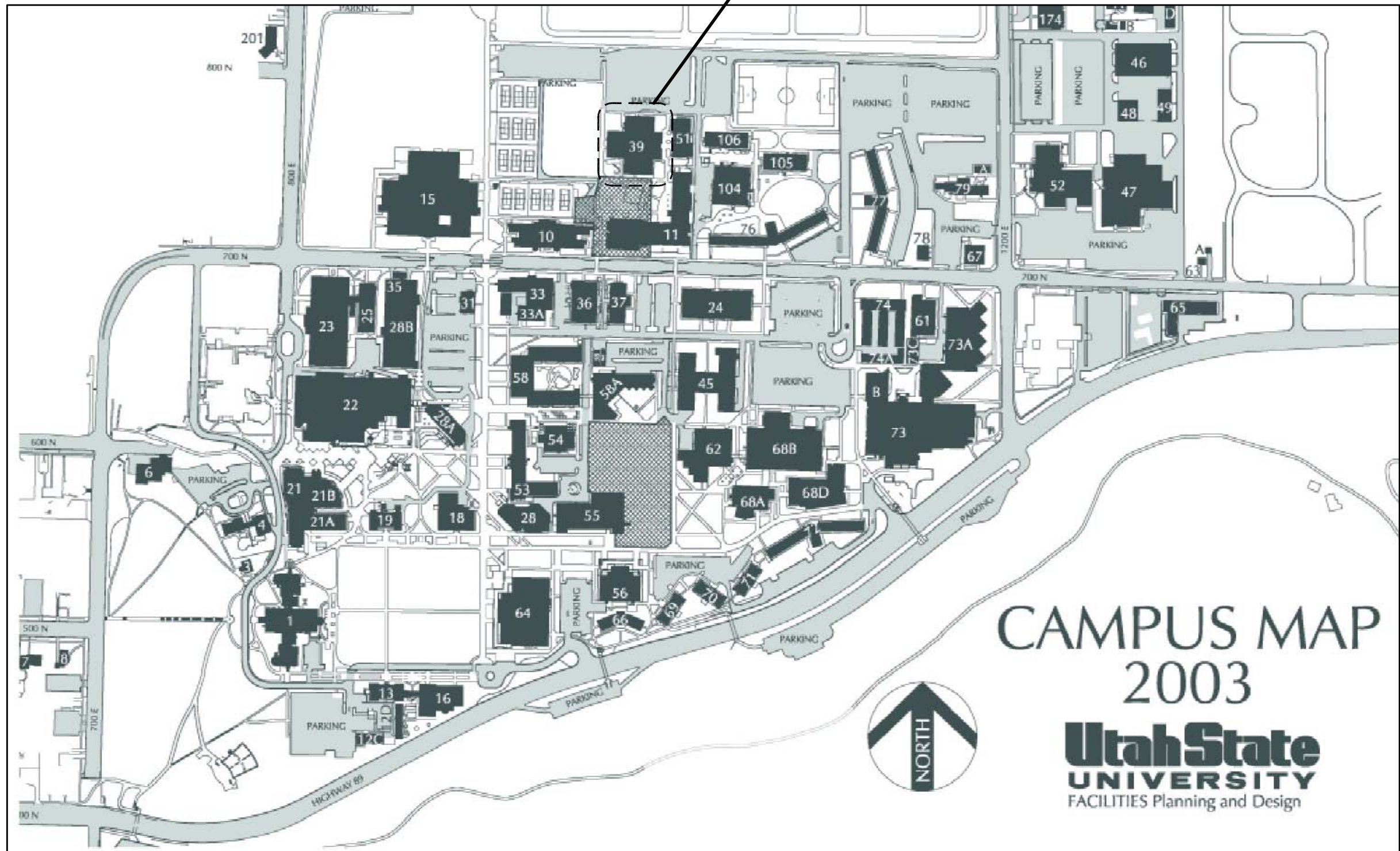
### Code Information

2006 INTERNATIONAL BUILDING CODE  
EXISTING BUILDING AREA = 32,000 S.F.  
EXISTING ROOF AREA = 36,000 S.F.

OCCUPANCY GROUP = B & E  
CONSTRUCTION TYPE = V-A (MASONRY INTERIOR AND EXTERIOR WALLS WITH WOOD FRAMED PARALLEL CHORD TRUSSES)

MINIMUM ROOF COVERING CLASSIFICATION REQUIRE = CLASS B  
ROOF CLASSIFICATION PROVIDED = CLASS A

PROJECT LOCATION



### Index of Drawings

G101 TITLE SHEET

### ARCHITECTURAL

A101 ROOF PLAN

A201 DETAILS

A202 DETAILS

### Directory

#### OWNER:

STATE OF UTAH  
DIVISION OF FACILITIES  
CONSTRUCTION AND MANAGEMENT

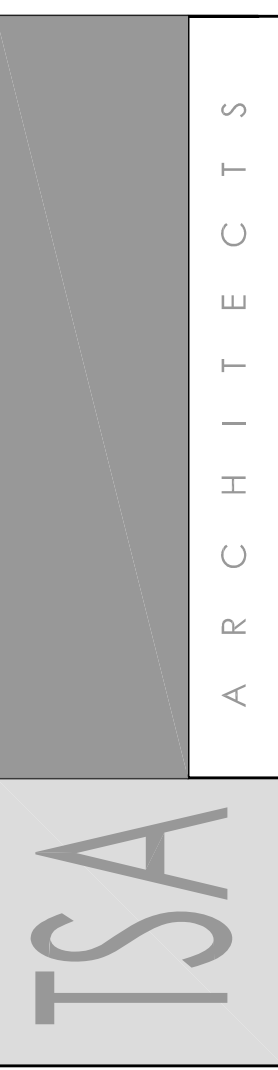
#### PROJECT MANAGER

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#### ARCHITECT:

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TRACY STOCKING & ASSOCIATES



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TITLE SHEET

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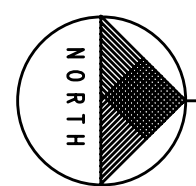
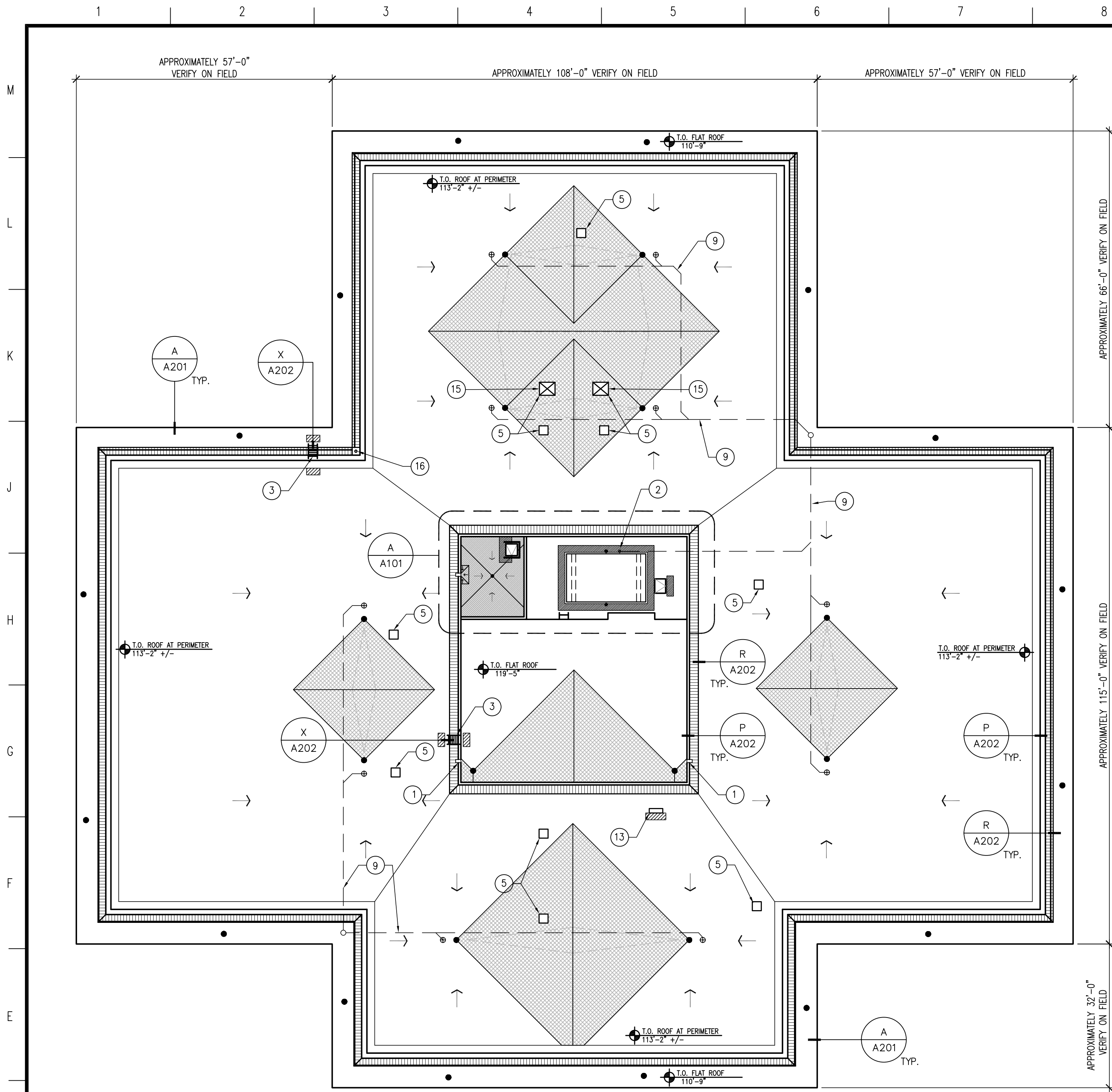
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05/28/07

G101





## ROOF PLAN

SCALE: 1/16" = 1'-0"

### NEW ROOF SYSTEM

CLASS-A ROOF COVERING OVER COMBUSTIBLE DECK

UL #TGFU.R8103

3 IN. LAYER OR (2) 1 1/2" LAYERS OF CARLISLE POLYISO HP-DWD OR HUNTER H-SHIELD-DWD PLACED DIRECTLY OVER PLYWOOD DECK AND COVERED WITH CARLISLE SURE-FLEX PVC MECHANICALLY ATTACHED ROOFING MEMBRANE.

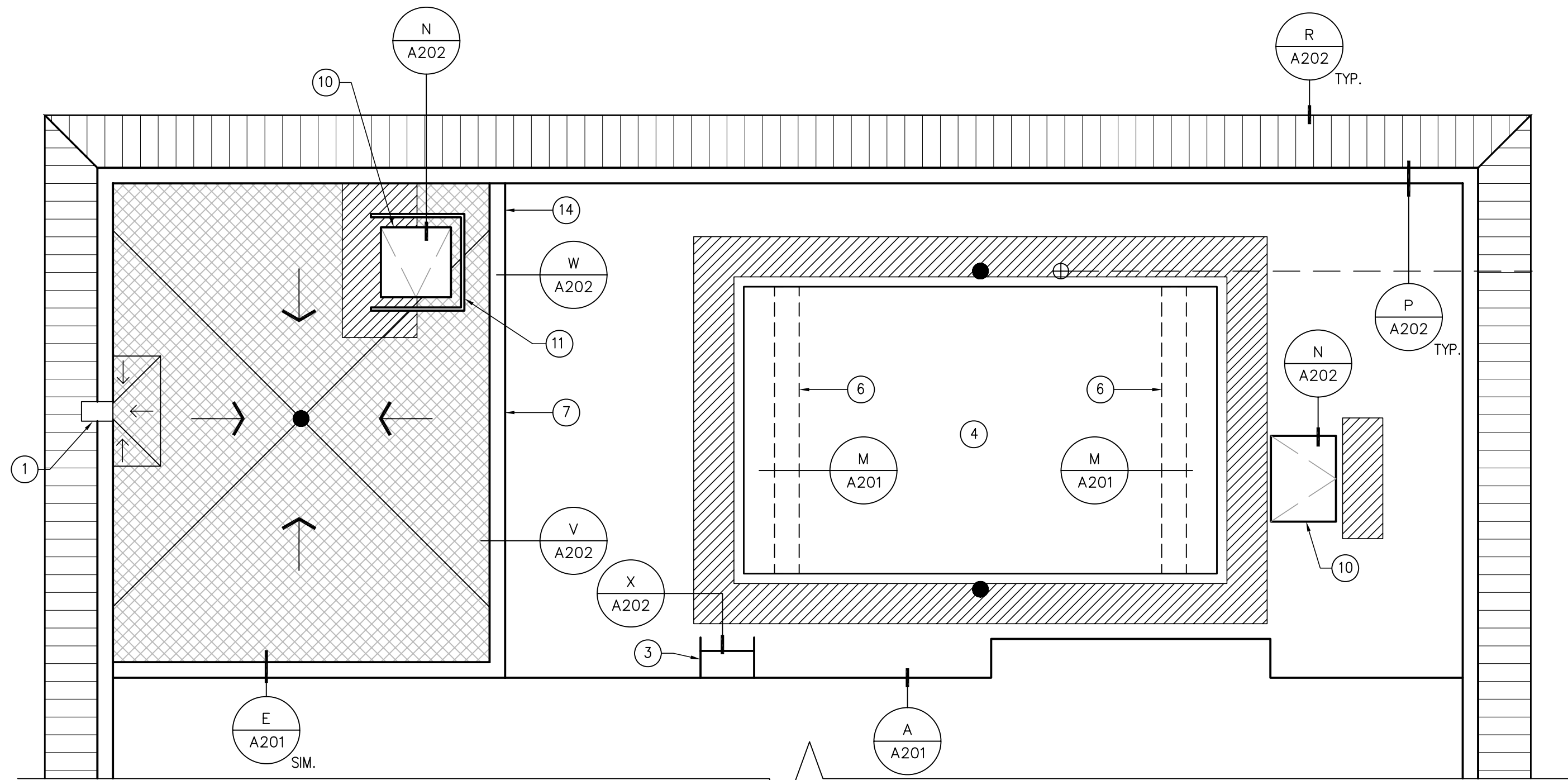
ALL INSULATION JOINTS MUST BE STAGGERED A MINIMUM OF 6 IN. FROM THE DECK JOINTS OR FROM THE INSULATION JOINTS DIRECTLY BELOW. THE MAXIMUM INCLINE SHALL BE IN ACCORDANCE WITH THE CLASSIFICATION ESTABLISHED FOR THE MEMBRANE/INSULATION ROOFING ASSEMBLY, HOWEVER THE INCLINE CAN NOT EXCEED 1/2:12.

### DEMOLITION NOTES

- REMOVE EXISTING ROOFING SYSTEM COMPLETELY INCLUDING: MEMBRANE, FLASHINGS, INSULATION, FASTENERS, CRICKETS, AND COPING - DOWN TO EXISTING PLYWOOD OR CONCRETE SUBSTRATE.
- PROTECT EXISTING METAL MANSARD ROOF SYSTEM & FASCIAS
- IDENTIFY ALL WATER DAMAGED, OR OTHERWISE UNSUITABLE FOR REUSE, PLYWOOD ROOF SHEATHING - COORDINATE REPLACEMENT W/ OWNER.

### CONSTRUCTION NOTES

- INSTALL NEW ROOF SYSTEM OVER ALL FLAT AND LOW SLOPE ROOF AREAS
- PROTECT EXISTING METAL MANSARD ROOFING AND METAL FASCIAS
- PROVIDE TAPERED INSULATION CRICKETS WHERE INDICATED IN ADDITION TO MINIMUM INSULATION THICKNESS.
- LOOSEN LOWER EDGE OF MANSARD SYSTEM TO PERMIT INSTALLATION OF NEW FLASHING, SEE DETAILS. RE-SECURE METAL MANSARD SYSTEM WITH NEW SURFACE FASTENERS, CORROSION RESISTANT SCREWS WITH NEOPRENE GASKETS, TWO (2) IN EACH PANEL SPACE.
- INSTALL NEW DRAIN INSERT IN EXISTING DRAIN BOWLS; SEE DETAILS.
- INSTALL NEW SECONDARY DRAINS WHERE INDICATED. PIPE AND FLUE PENETRATIONS ARE NOT SHOWN ON ROOF PLAN, LOCATE ALL PIPE PENETRATIONS IN FIELD AND PROVIDE NEW FLASHING AS SHOWN ON DETAILS J,K, & L/ A201
- 



## A LARGE SCALE ROOF PLAN

SCALE: 1/4" = 1'-0"

### LEGEND

- NEW TAPERED INSULATION CRICKET- SLOPE 1/4" PER FOOT
- PROTECT EXISTING METAL MANSARD ROOF SYSTEM TO REMAIN, TUCK NEW FLASHING AT BOTTOM BEHIND, INSTALL NEW COPING AT TOP
- NEW WALK PADS OVER NEW ROOF SYSTEM
- EXISTING ROOF DRAIN TO RECIEVE NEW RETRO FIT COPPER DRAIN INSERT IN EXISTING BOWL, PROVIDE NEW CAST IRON STRAINER, SEE DETAIL G/A201
- NEW OVERFLOW DRAIN SET IN WOOD FRAMED ROOF U.N.O.- SEE DETAIL U/A202
- NEW OUTLET NOZZLE IN EXISTING SOFFIT BELOW, SEE DETAIL Q/A202

### MECHANICAL NOTES

- All heating and ventilating equipment shall be installed in accordance with current Mechanical Code requirements.

### PLUMBING NOTES

- All plumbing equipment shall be installed in accordance with current plumbing code requirements, ordinances and industry standards
- Provide all equipment, accessories and appertances required to constitute a complete installation of new equipment

### ELECTRICAL NOTES

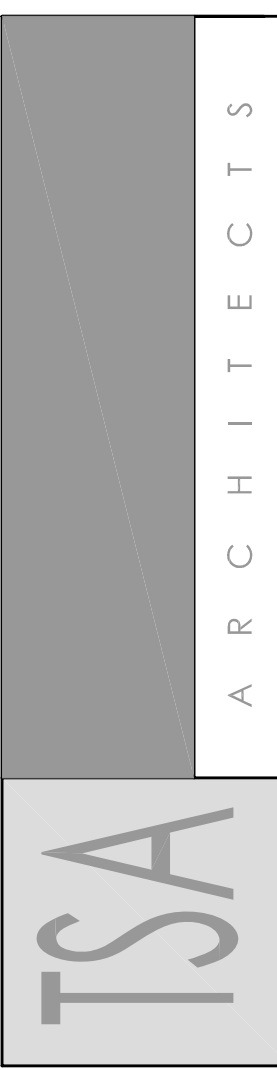
- Temporary wiring shall conform to N.E.C article 305.

### KEYED NOTES

- NEW SCUPPER - SEE DETAIL T/A202
- NEW OVERFLOW DRAIN CUT IN SUSPENDED CONCRETE ROOF SLAB
- EXISTING ROOF ACCESS LADDER TO REMAIN
- CONTRACTOR IS TO RAISE EXISTING CHILLER- DISCONNECT EXISTING MECH. & ELEC. - COORDINATE W/ UNIVERSITY BUILDING MANAGEMENT PRIOR TO SHUT OFF.
- REMOVE AND REINSTALL EXISTING MECHANICAL EQUIPMENT, BUILD UP EXISTING CURB HEIGHT TO 8" MIN. ABOVE MEMBRANE AND REINSTALL WITH ALL NEW FLASHING, SEE DETAIL H/A201
- EXISTING CONCRETE CURB SUPPORT FOR MECHANICAL UNIT, REPLACE EXISTING FLASHING, SEE DETAIL M/A201
- EXISTING LOUVER GRILLE FULL WIDTH AND HEIGHT OF WALL
- EXISTING SKYLIGHT TO REMAIN- SEE DETAIL D/A201
- NEW OVERFLOW DRAIN LINE IN EXISTING ATTIC SPACE, REMOVE ROOF DECK PANEL AS NEEDED TO INSTALL, REPLACE PANEL W. NEW PLYWOOD
- EXISTING SCUTTLE TO REMAIN
- NEW 1 1/2" DIAM. WELDED STEEL PIPE GUARDRAIL, PAINTED, 36" HIGH, SECURE TO PLYWOOD DECK, PROVIDE ROOF JACKS AT MEMBRANE PENETRATIONS
- EXISTING CONDENSER ON BUILT-UP CURB TO REMAIN, BUILD UP EXISTING CURB HEIGHT TO 8" MIN. ABOVE MEMBRANE AND RE-INSTALL WITH ALL NEW FLASHING, SEE DETAIL H/A201
- APPROXIMATELY 36" WIDE X 48" HIGH CUT-OUT IN EXISTING LOUVER GRILLE, SEE DETAIL FOR NEW CURB CONSTRUCTION AT BASE.
- EXISTING SKYLIGHT, REMOVE & REINSTALL WITH NEW CURB FLASHING, EXTEND HEIGHT OF CURB TO ACHIEVE 8" MIN. ABOVE MEMBRANE.
- EXISTING ELECTRICAL WEATHERHOOD, VERIFY IF IN USE AND REPORT FINDING TO ARCHITECT. IF NOT IN USE: REMOVE WEATHERHOOD AND COVER OPENING WITH NEW PREFINISHED METAL VALLEY AND STANDING SEAM ROOFING PANELS FROM COPING TO BASE. SEAM EDGES. SECURE TO EXISTING METAL MANSARD SYSTEM.

IF IN USE: CUSTOM FABRICATE A FULLY SOLDERED, GALVANIZED METAL ROOF JACK TO MATCH SLOPE OF MANSARD. EXTEND TOP TO TUCK UNDER NEW COPING. EXTEND SIDES AND BOTTOM TO FULLY COVER OPENING. SEAL TOP OF JACK WITH LEAD WEATHER CAP AND STAINLESS STEEL DRAW BAND, AND SEALANT.

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ROOF PLANS

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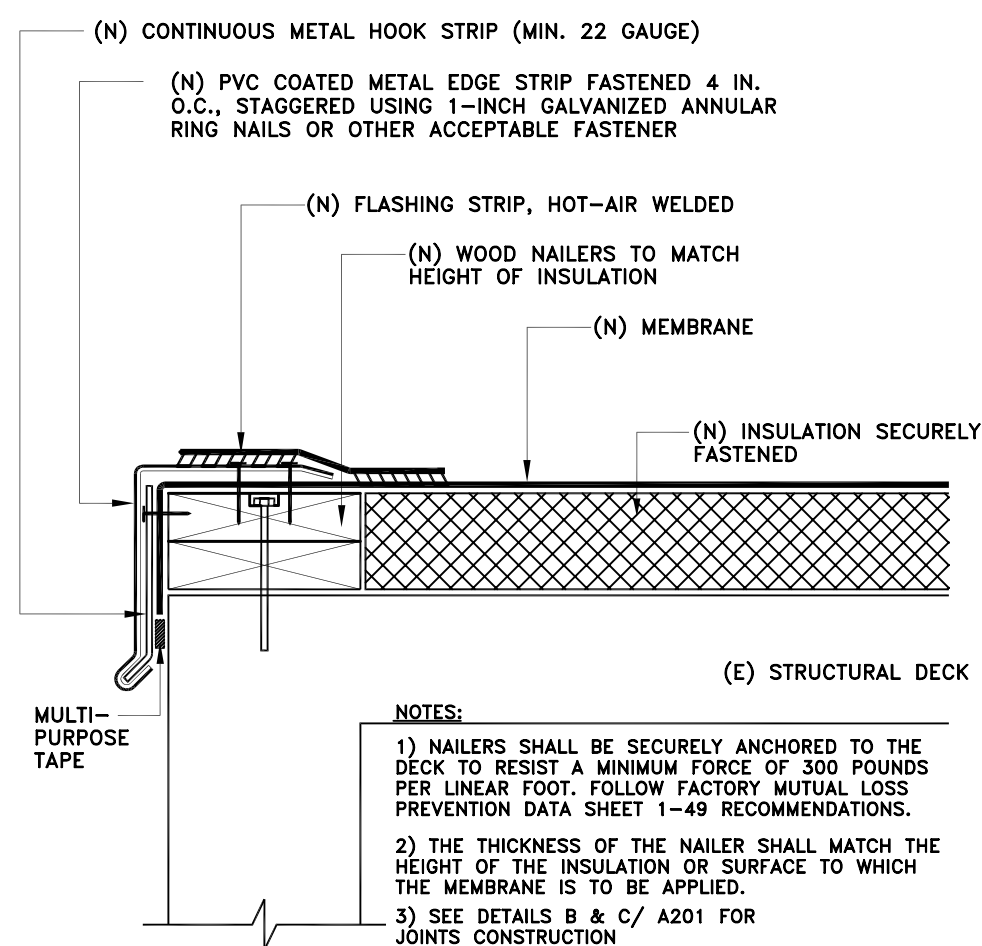
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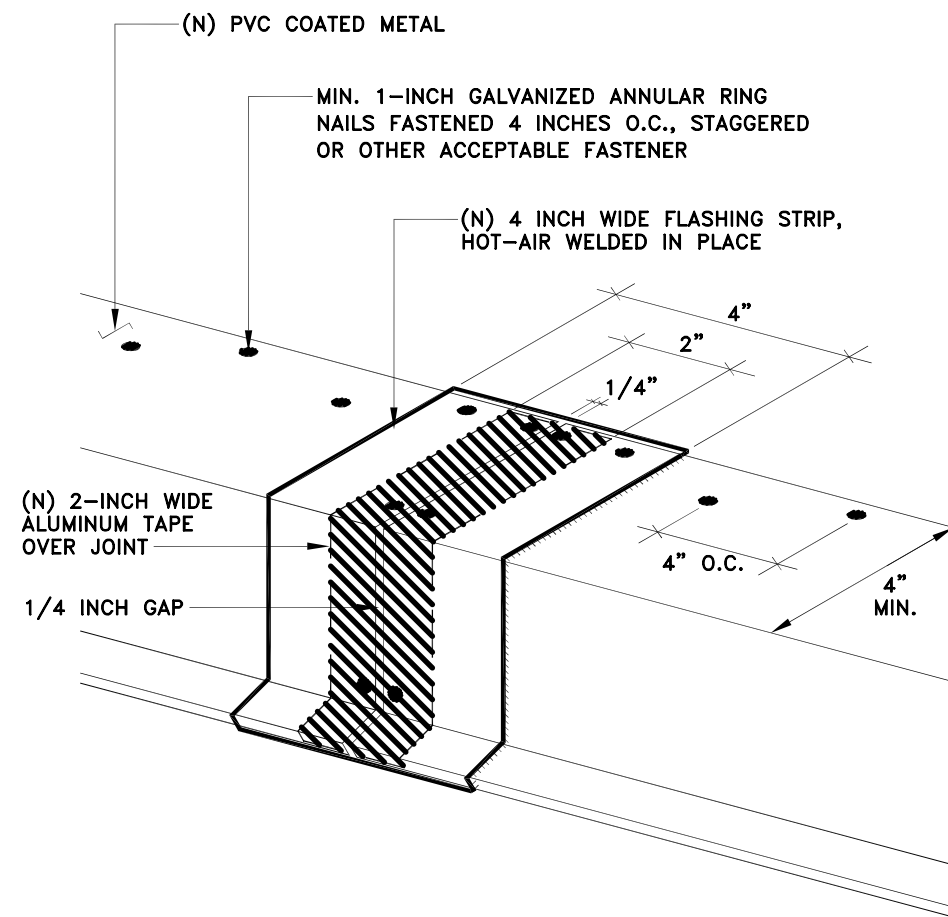
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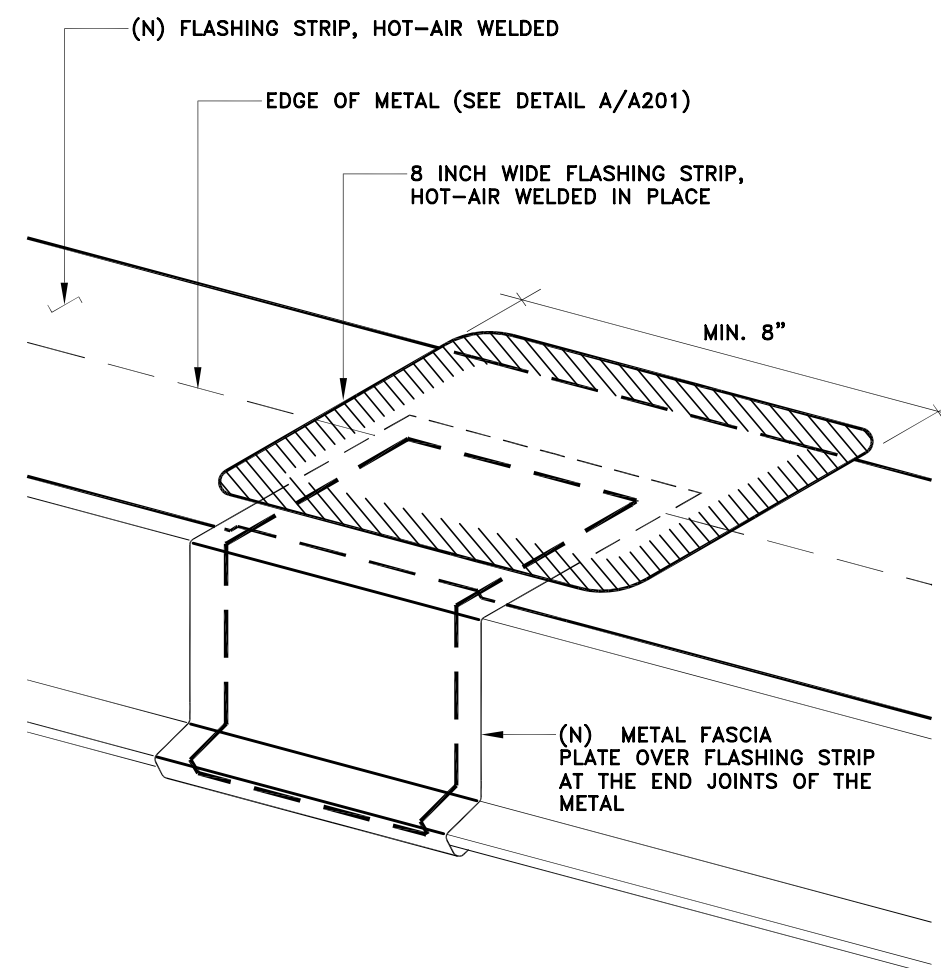
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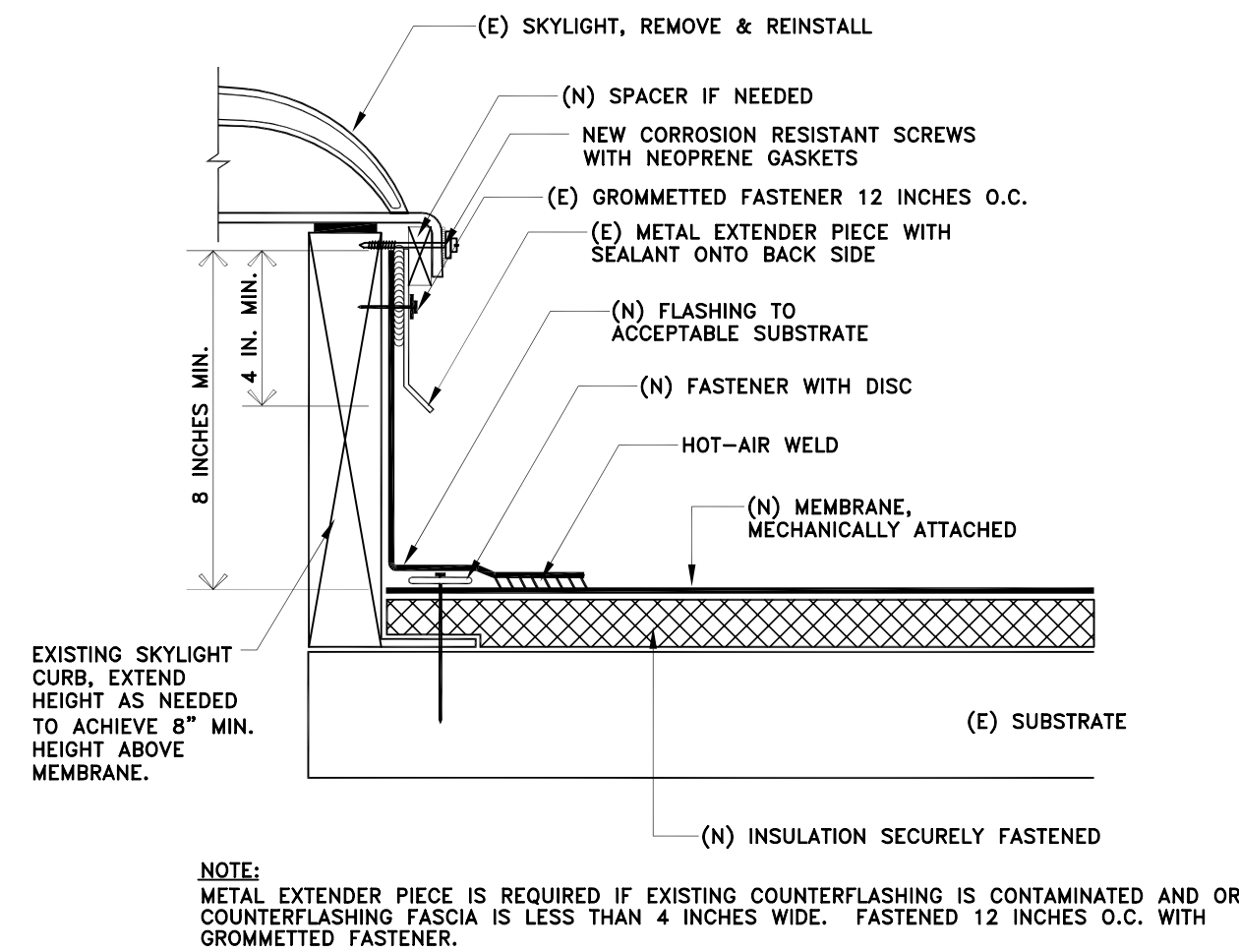
**A** ROOF EDGE DETAIL  
6" = 1'-0"



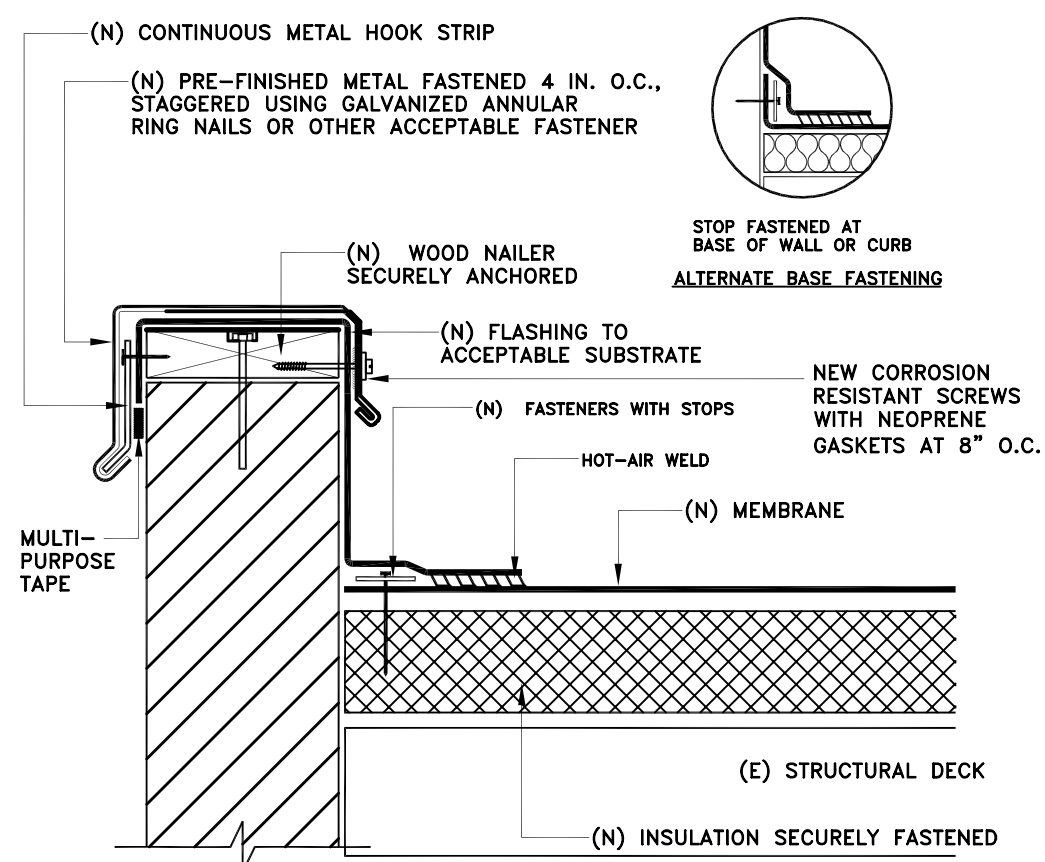
**B** ROOF EDGE JOINT FLASHING DETAIL  
6" = 1'-0"



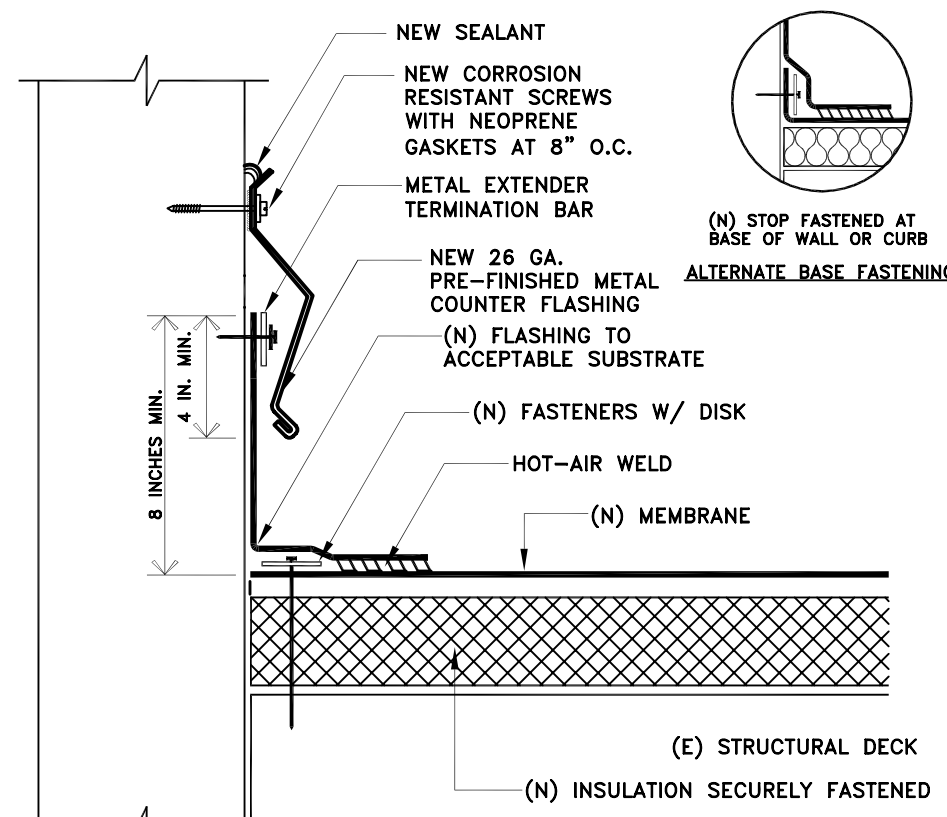
**C** FASCIA PLATE @ ROOF EDGE DETAIL  
6" = 1'-0"



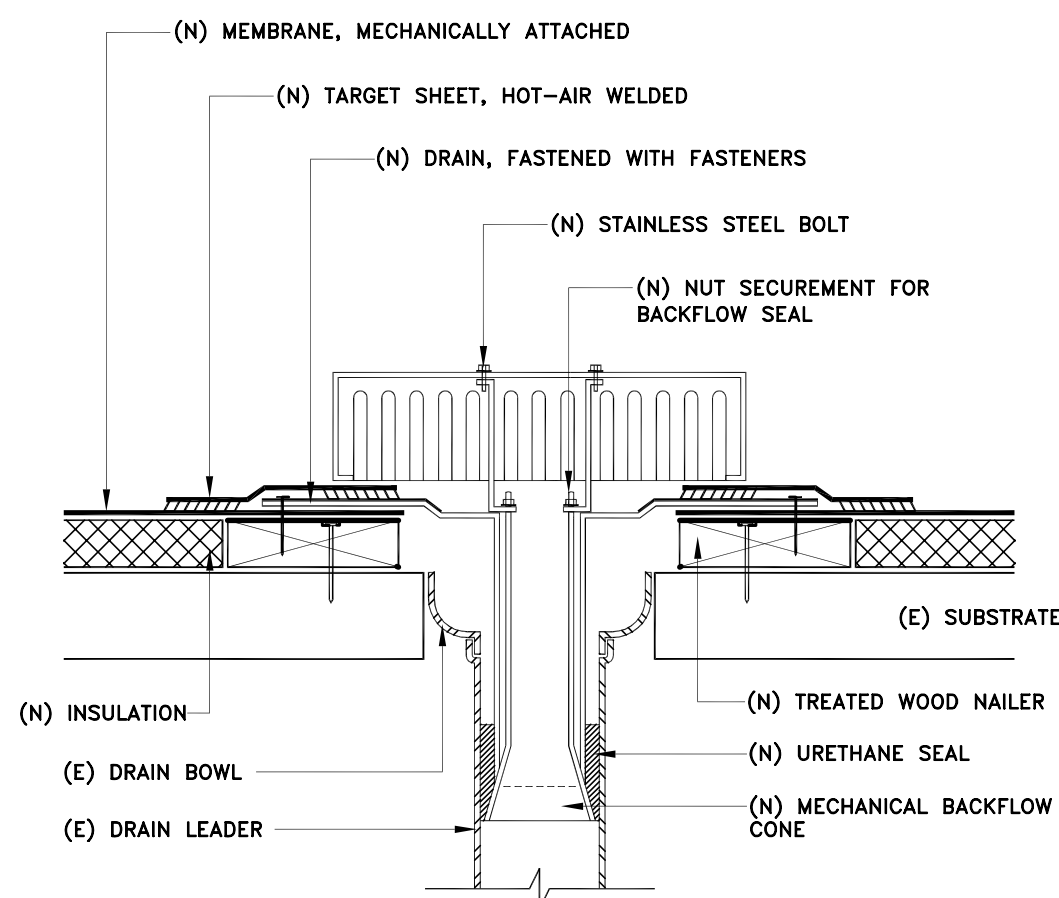
**D** SYKLYLIGHT FLASHING DETAIL  
6" = 1'-0"



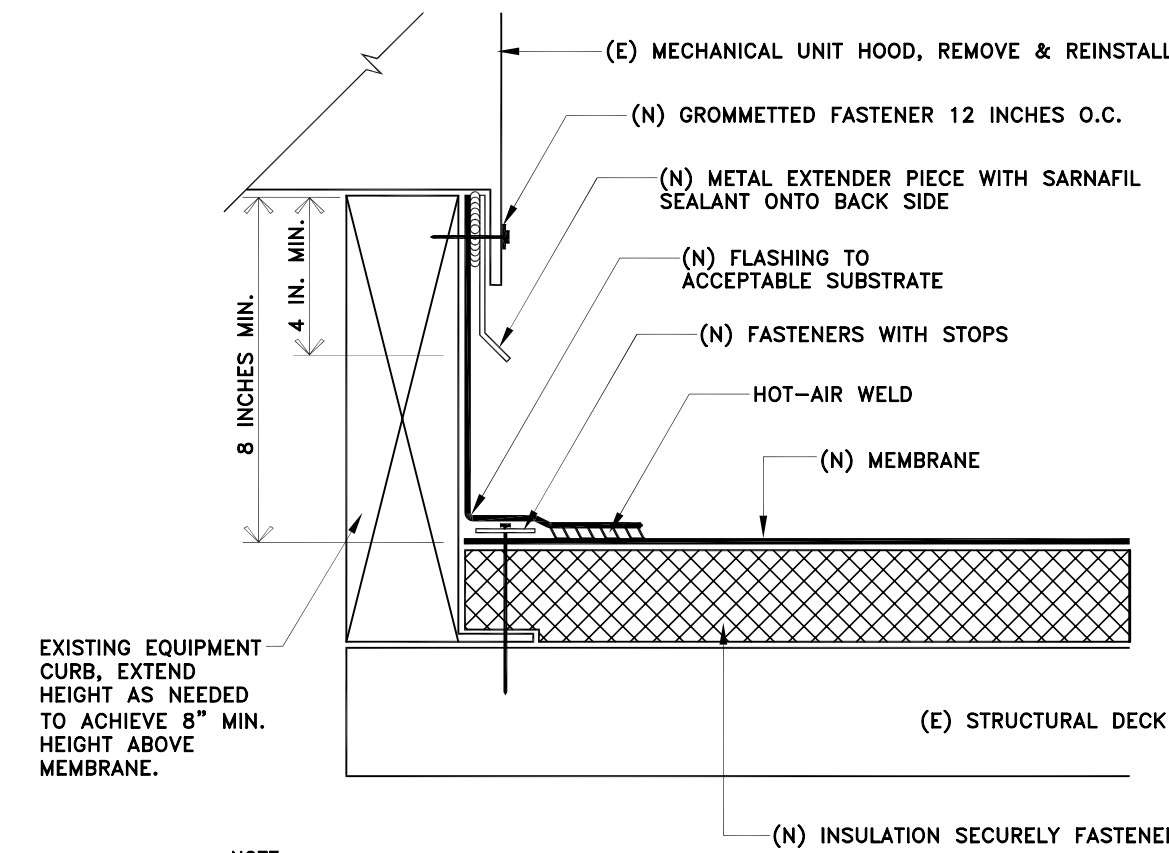
**E** PARAPET WALL DETAIL  
6" = 1'-0"



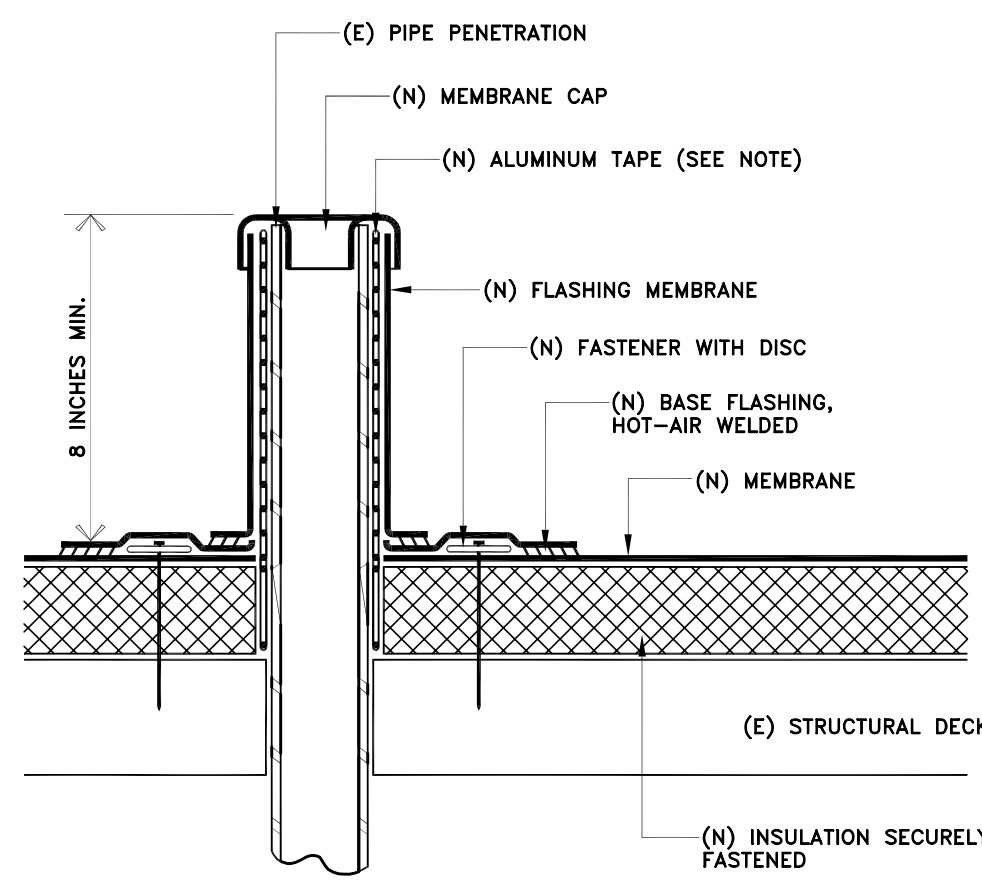
**F** BASE FLASHING DETAILS  
6" = 1'-0"



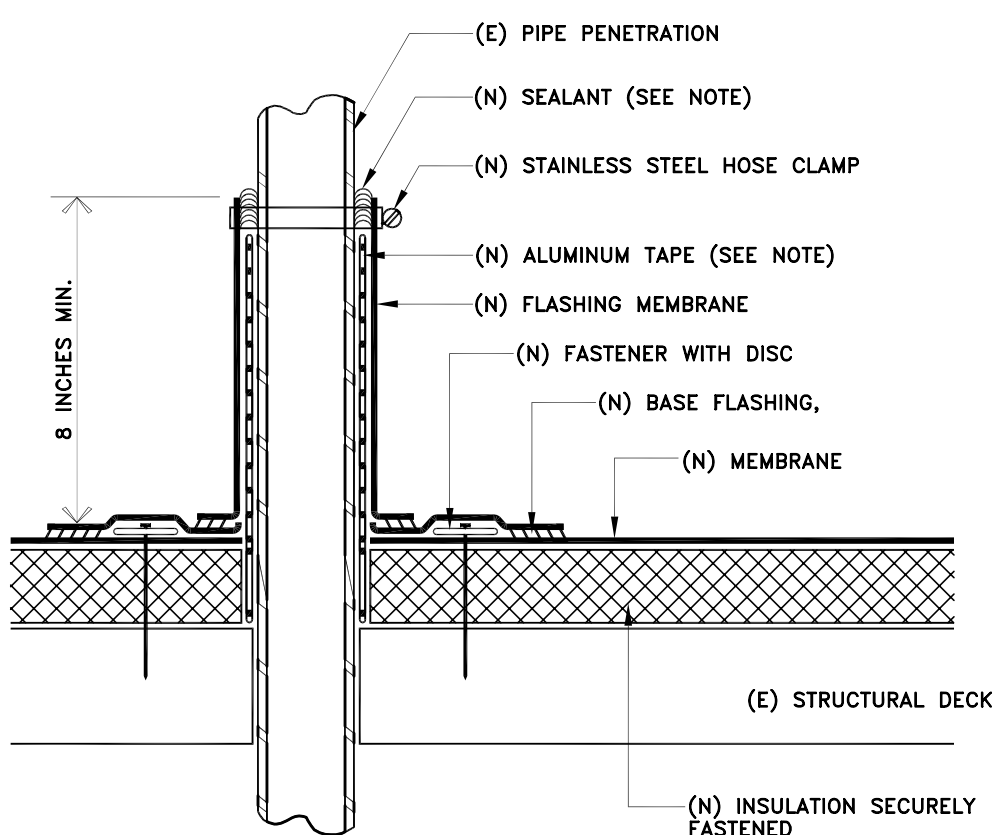
**G** ROOF DRAIN DETAIL  
6" = 1'-0"



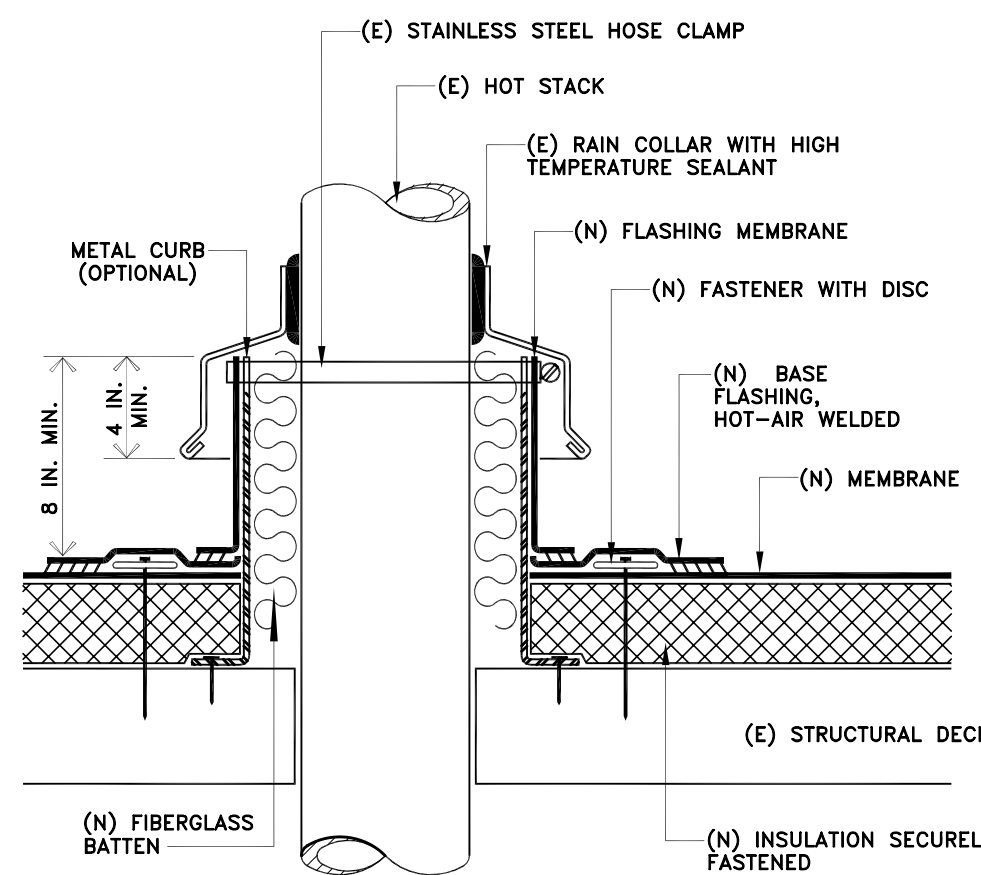
**H** CURB FLASHING DETAILS  
6" = 1'-0"



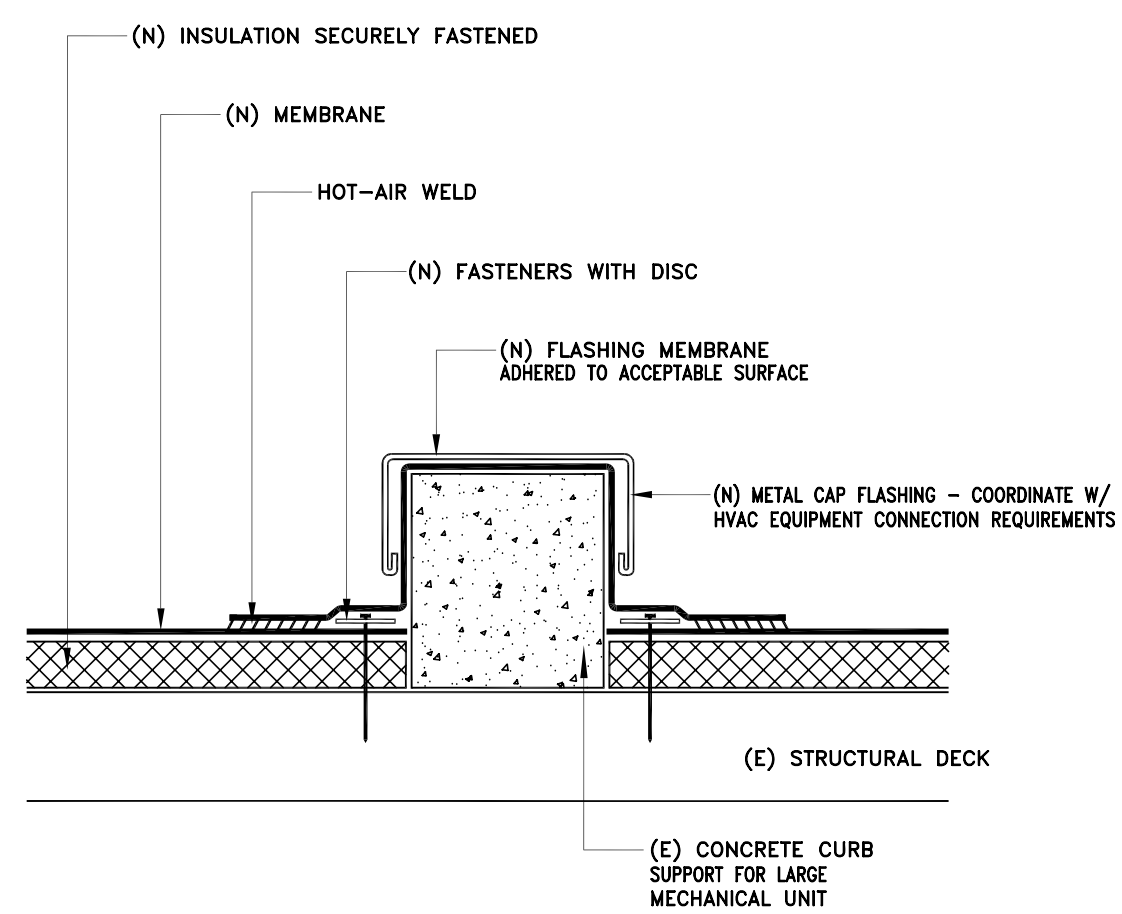
**J** PIPE FLASHING DETAILS  
6" = 1'-0"



**K** FLASH/PIPE FLASHING DETAILS  
6" = 1'-0"

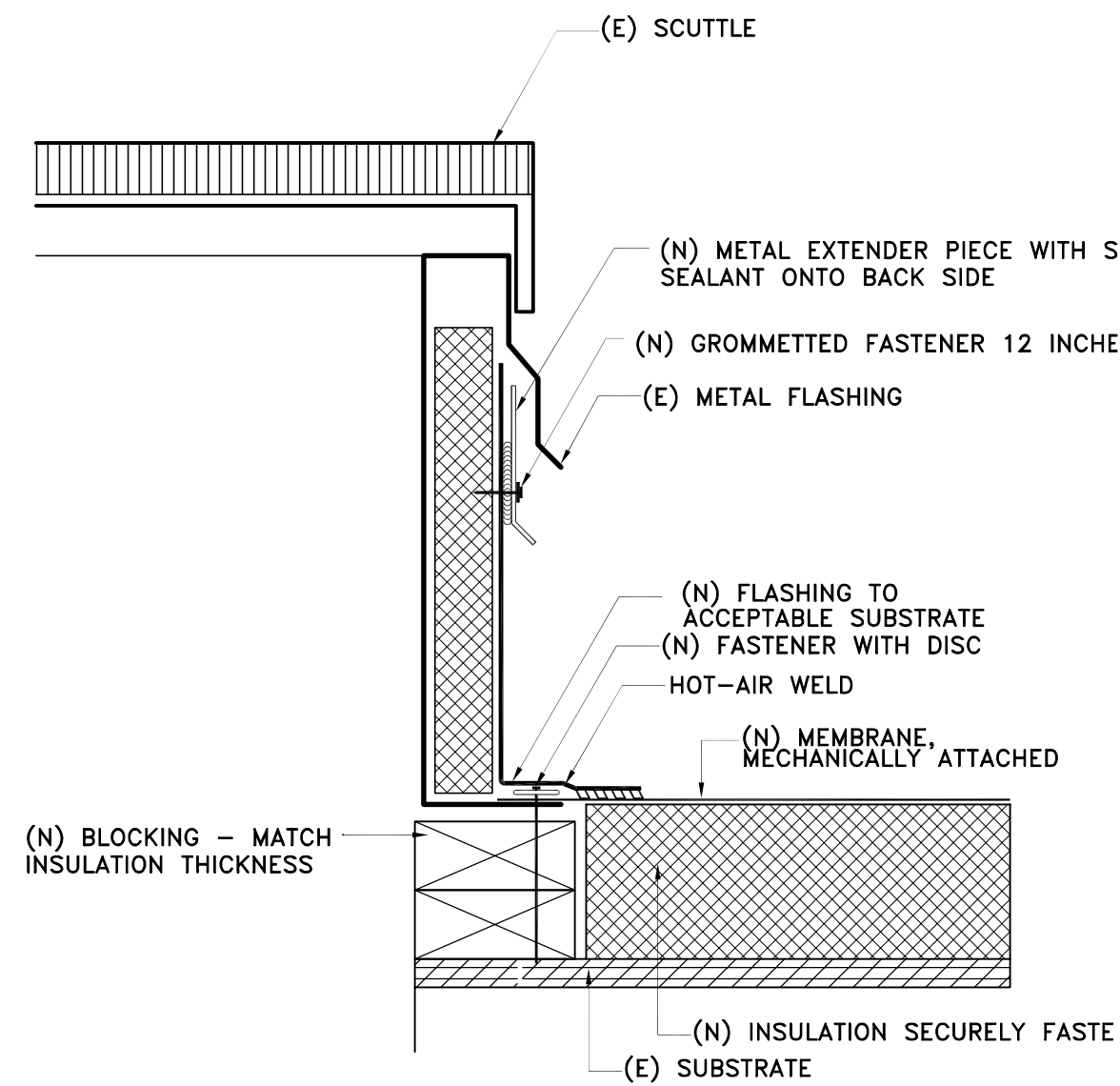


**L** HOT STACK FLASHING DETAILS  
6" = 1'-0"

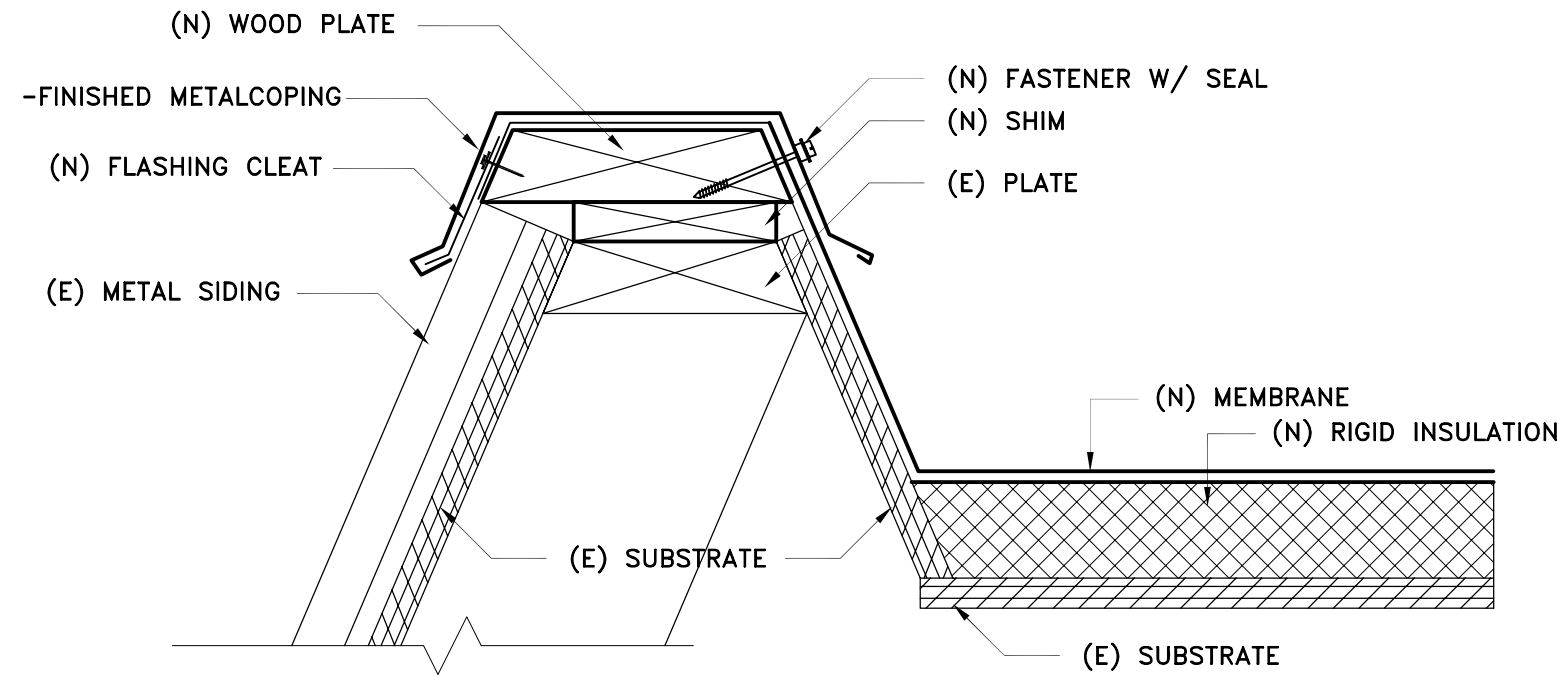


**M** EQUIPMENT BASE DETAILS  
6" = 1'-0"

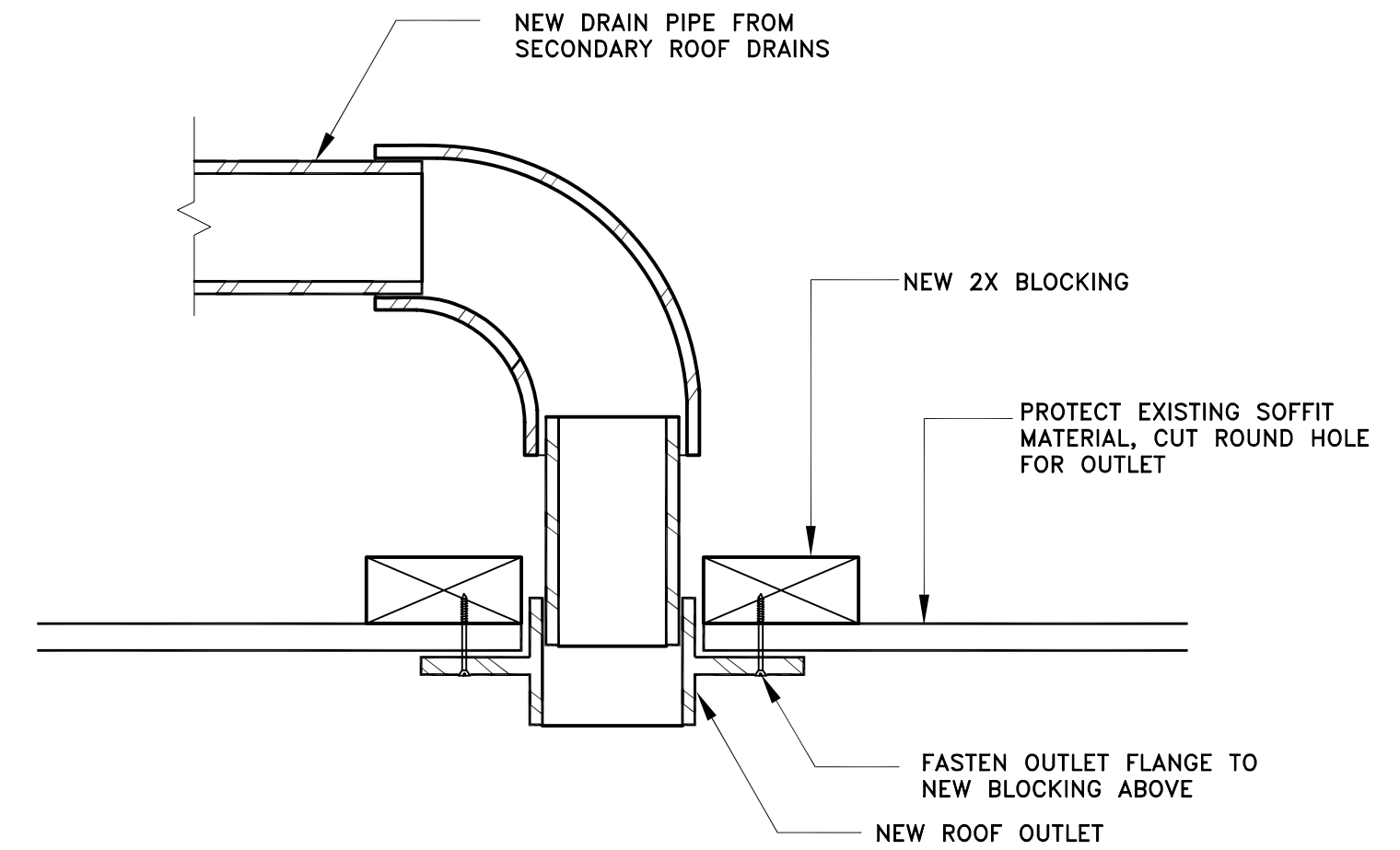




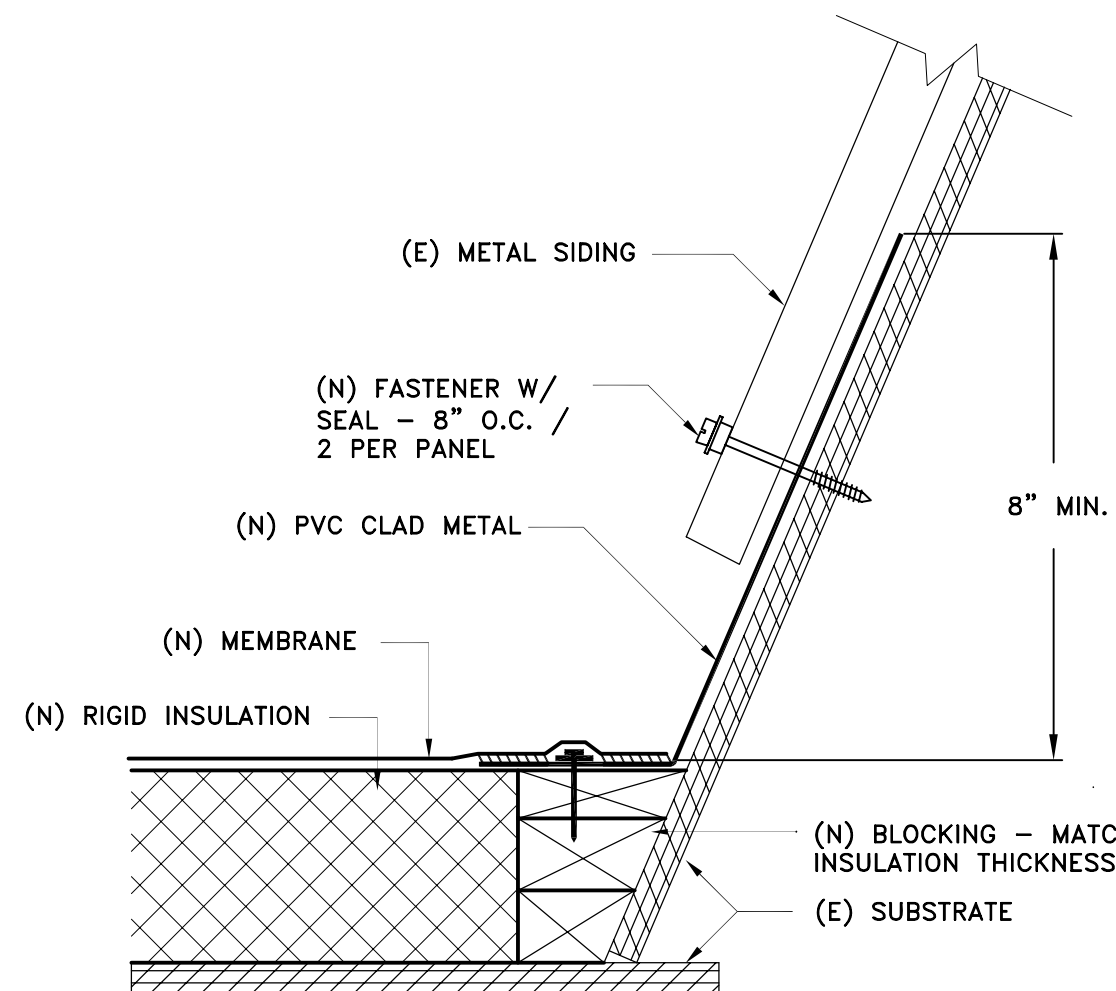
**N** SCUTTLE BASE DETAIL  
3" = 1'-0"



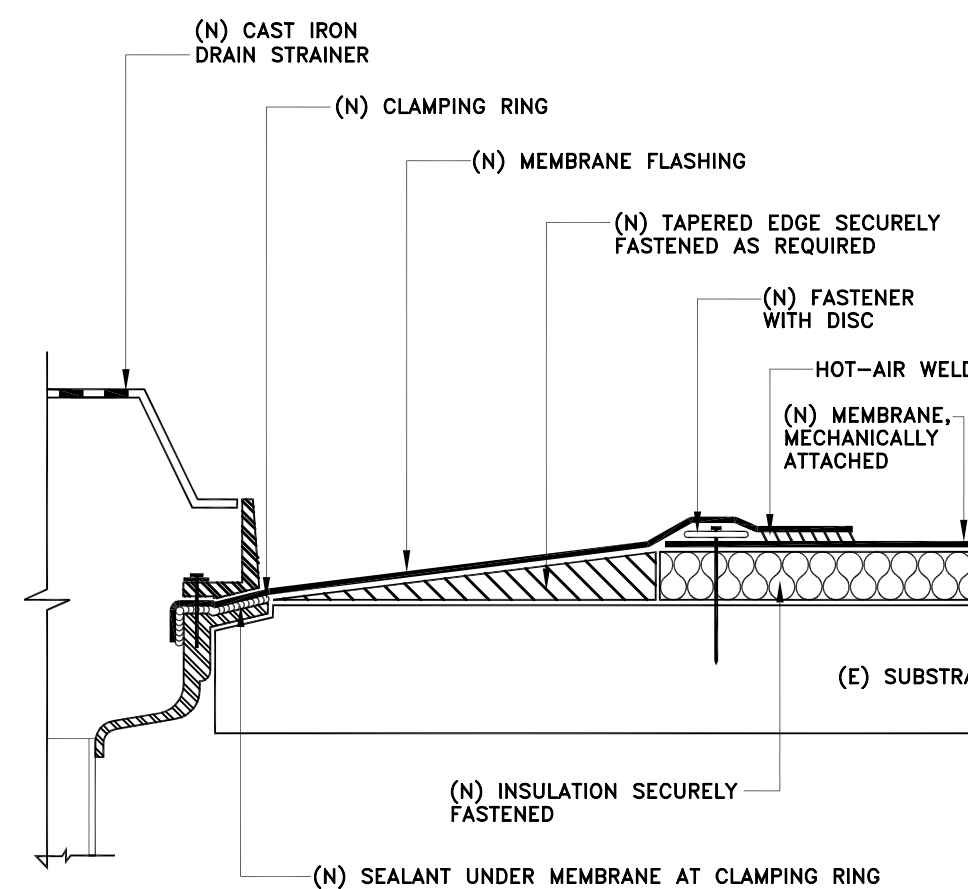
**P** METAL COPING DETAIL  
1 1/2" = 1'-0"



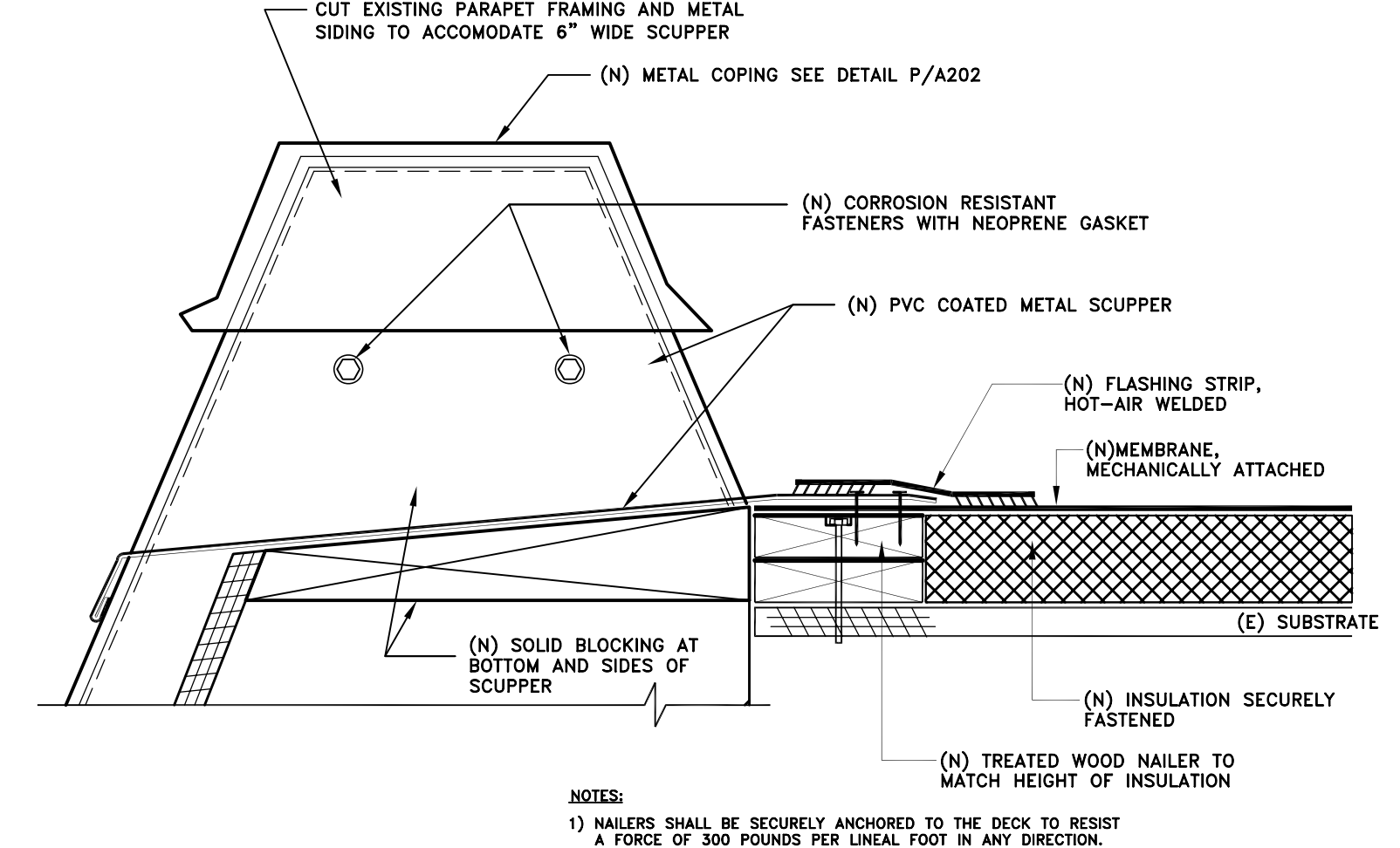
**Q** DRAIN OUTLET DETAIL  
3" = 1'-0"



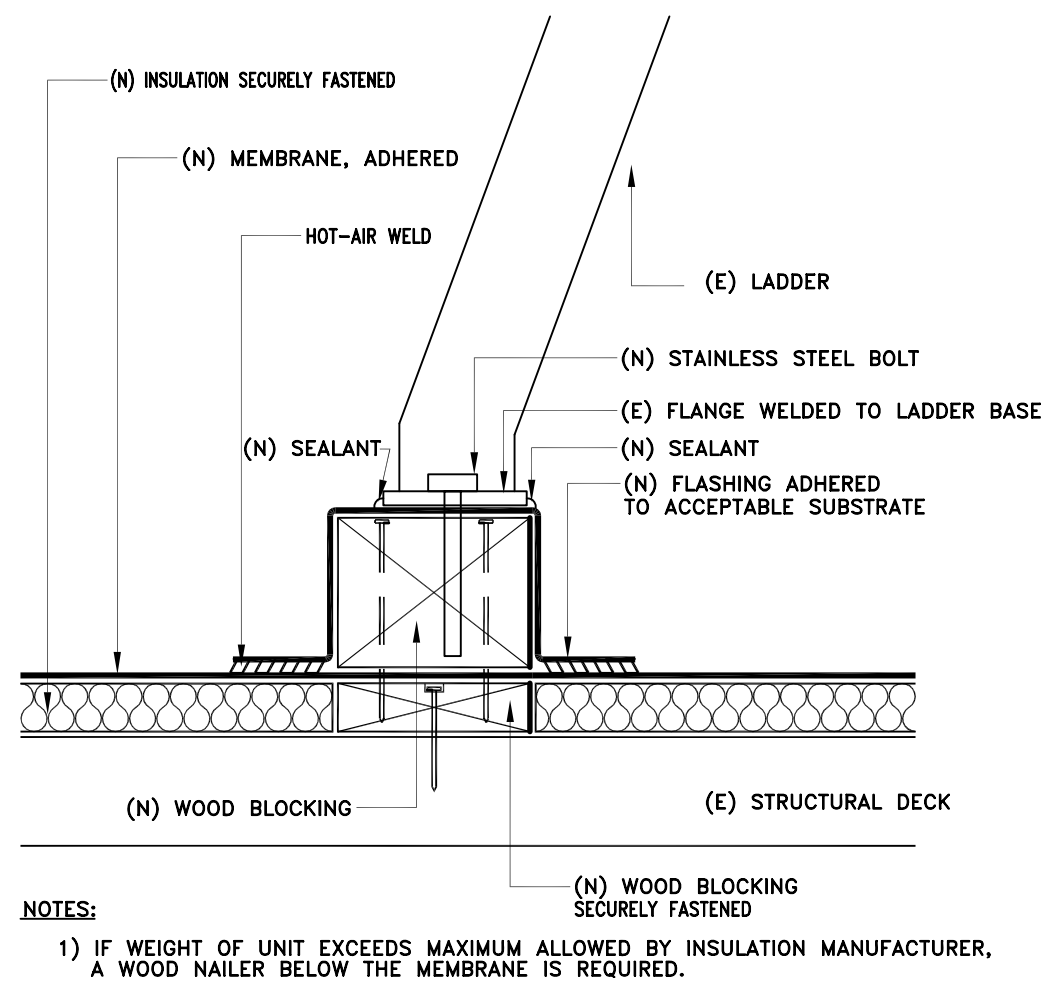
**R** METAL SIDING BASE DETAIL  
1 1/2" = 1'-0"



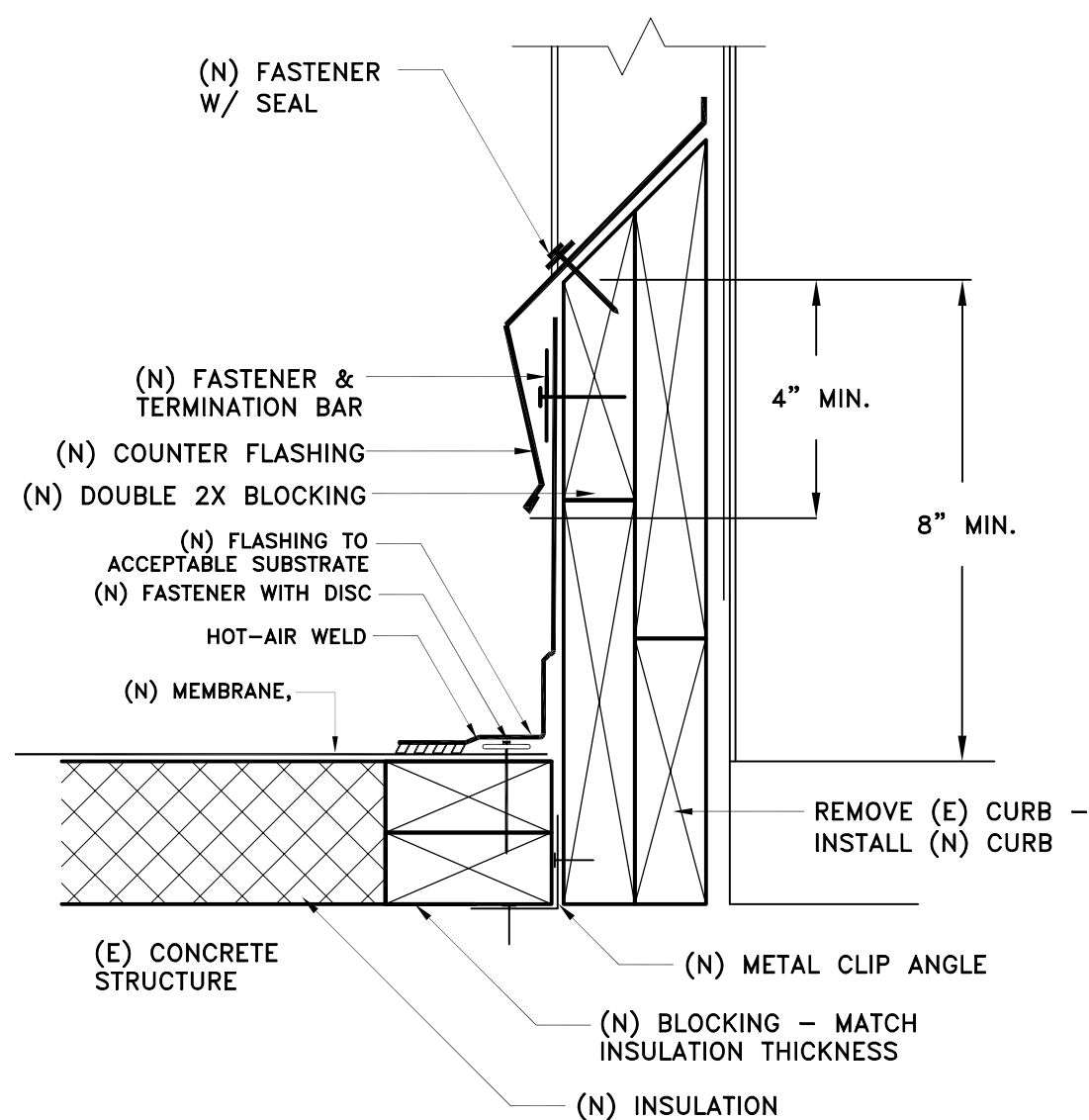
**S** MEMBRANE AT NEW ROOF DRAIN DETAIL  
6" = 1'-0"



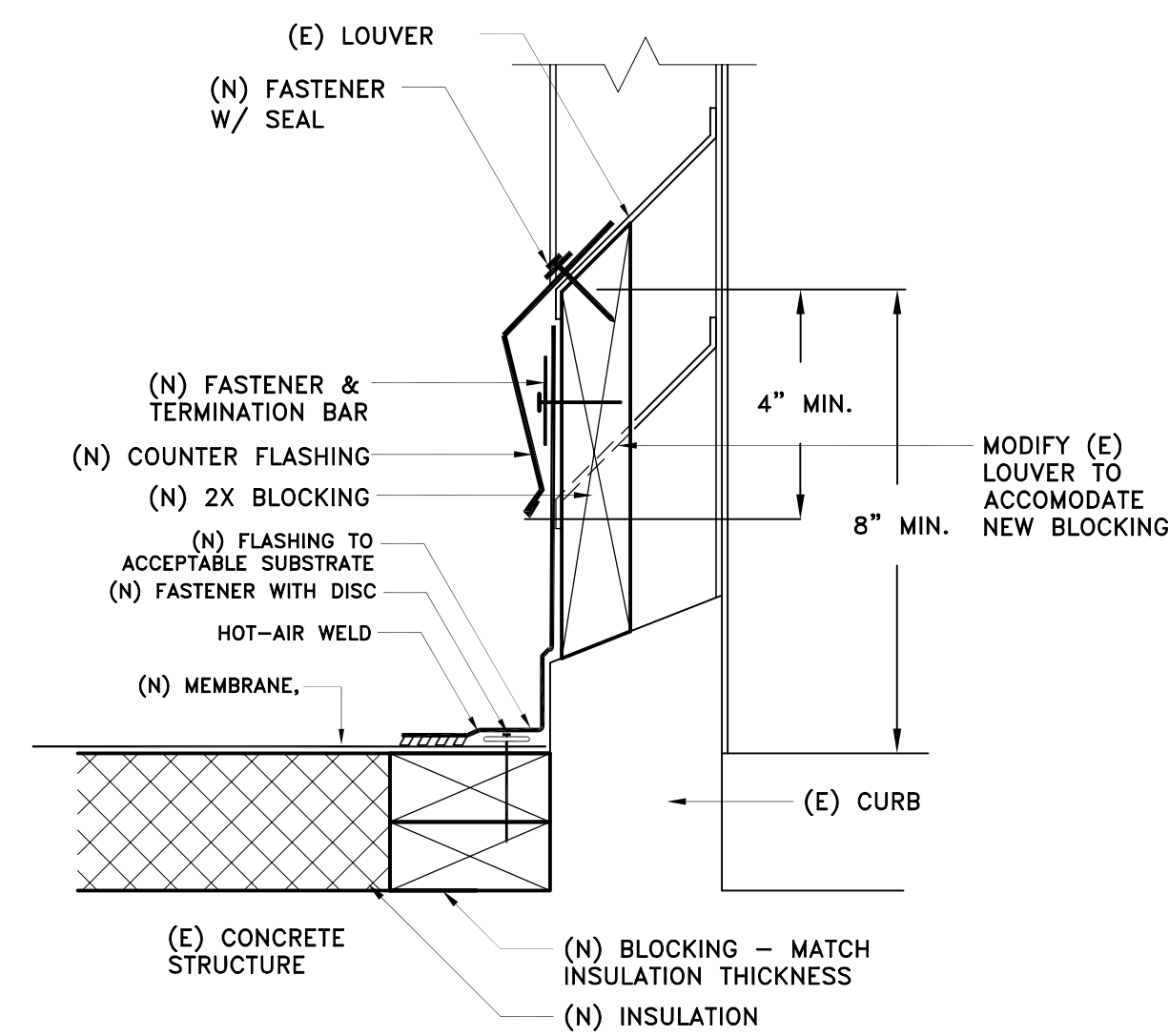
**T** SCUPPER DETAIL  
6" = 1'-0"



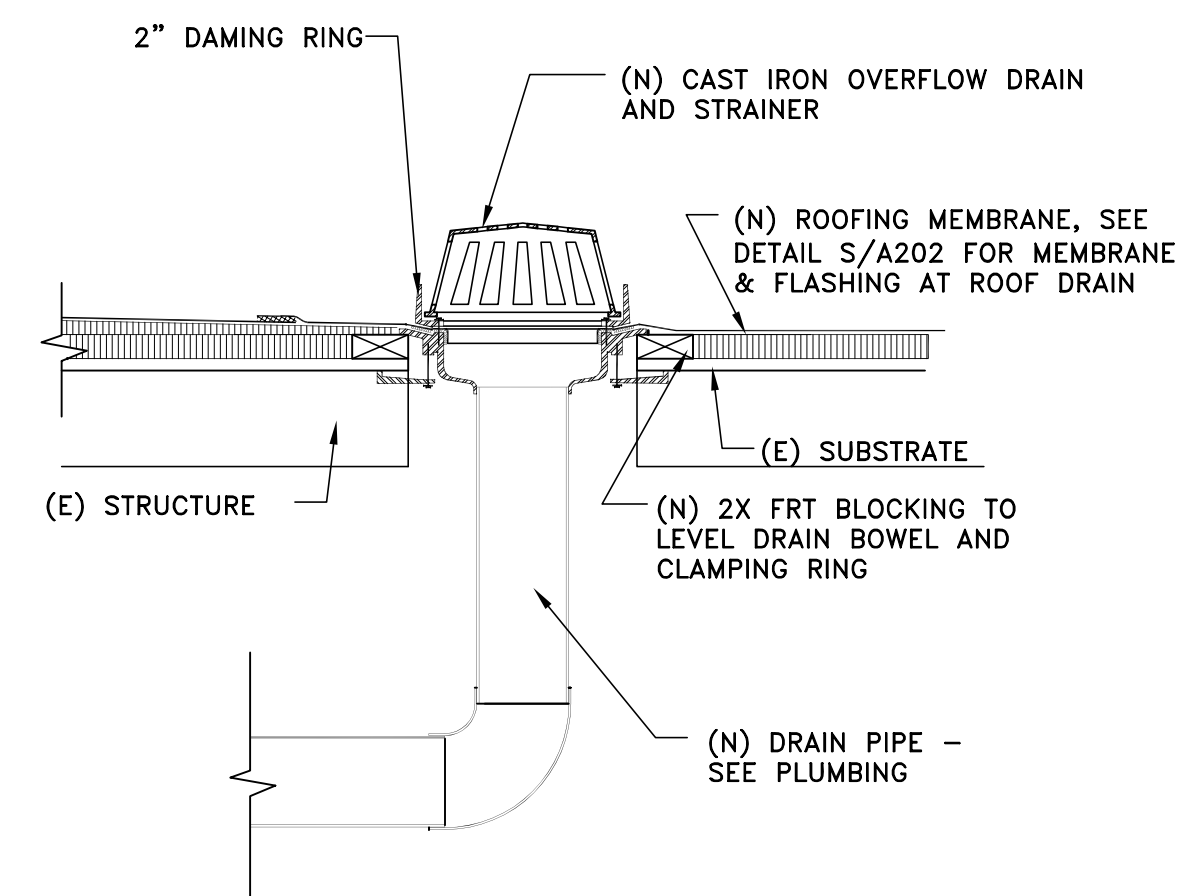
**X** LADDER BASE DETAIL  
6" = 1'-0"



**W** FLASHING DETAIL @ LOUVER OPENING  
1 1/2" = 1'-0"

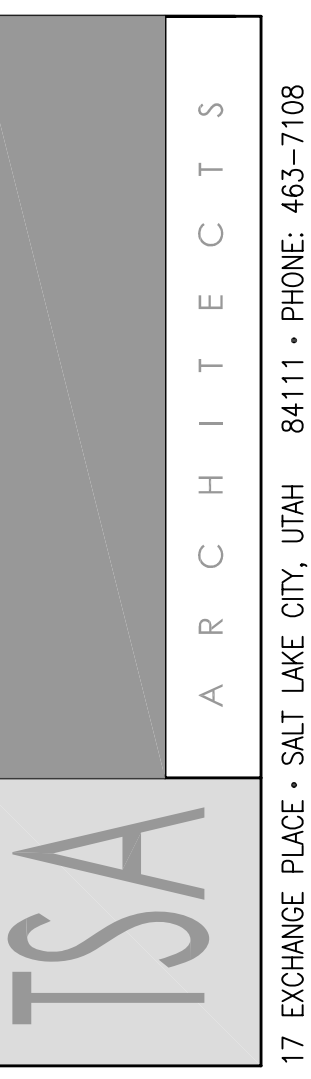


**V** FLASHING DETAIL @ LOUVERS  
1 1/2" = 1'-0"



**U** NEW SECONDARY ROOF DRAIN DETAIL  
1" = 1'

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